

SHEET LIST

ARCHITECTURE

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ZONING BY-LAW ANALYSIS

PROJECT DATA

CIVIC ADDRESS: BONSON ROAD AT FRASER WAY, KATZIE 1ST NATION
LEGAL ADDRESS: LOTS 6-2, 6-1-2, 6-1-3, 6-1-4, 6-1-5, 6-1-7
PIDs

BUILDING USE: INDUSTRIAL
GROSS BUILDING AREA: 102,244.77 m² 1,100,553.5 ft²

ZONING BYLAW ANALYSIS (BASED ON CITY OF PITT MEADOWS)

1. ZONING: PITT MEADOWS, I-3
2. SITE AREA: 70,884.55 m² | 7.09 hectare | 762,994.90 ft² | 17.52 acres

3. SITE COVERAGE + BUILDING AREAS:

BUILDING FOOTPRINT AREA CALCULATIONS

| SITE AREA | | PROP. SITE COVERAGE | BUILDING AREA | | MAXIMUM SITE COVERAGE | |
|-----------|-----------|---------------------|---------------|-------------|-----------------------|-----------|
| SQ M | SQ FT | | SQ M | SQ FT | % | SQ M |
| 70,884.55 | 762,994.9 | 144.24% | 102,244.77 | 1,100,553.5 | 60.00% | 42,530.73 |
| | | | | | | 457,797.0 |

FLOOR AREA CALCULATIONS

| LEVEL | BLDG# | OCCUPANCY | USE | FLOOR AREA | |
|------------|--------|-----------|------------|------------|-------------|
| | | | | SQ M | SQ FT |
| MAIN FLOOR | BLDG 1 | F2 | INDUSTRIAL | 15,987.79 | 172,091.1 |
| MAIN FLOOR | BLDG 1 | F2 | INDUSTRIAL | 15,987.79 | 172,091.1 |
| MAIN FLOOR | BLDG 1 | F2 | INDUSTRIAL | 15,987.79 | 172,091.1 |
| MAIN FLOOR | BLDG 2 | F2 | INDUSTRIAL | 18,093.97 | 194,761.9 |
| MAIN FLOOR | BLDG 2 | F2 | INDUSTRIAL | 18,093.97 | 194,761.9 |
| MAIN FLOOR | BLDG 2 | F2 | INDUSTRIAL | 18,093.97 | 194,761.9 |
| TOTAL | | | | 102,245.28 | 1,100,559.1 |

4. DENSITY(FLOOR SPACE RATIO):
MAXIMUM FSR: 1.0
PROPOSED FSR: 366,853 / 762,994.9 = 0.48

5. BUILDING HEIGHT (VARIANCE IS REQUIRED)
MAXIMUM HEIGHT: 12.00 m (39'-4 1/2")
PROPOSED HEIGHT: 12.65 m (41'-6")

6. REQUIRED SETBACKS:

| | REQUIRED | PROVIDED-BLDG1 | PROVIDED-BLDG2 |
|--------------------------------|---------------------|-----------------------|------------------------|
| FRONT YARD (SOUTH-FRASER WAY): | 7.50 m (24'-7 1/4") | 30.17 m (98'-11 3/4") | 34.09 m (111'-10 1/4") |
| SIDE YARD (EAST): | 7.50 m (24'-7 1/4") | N/A | 13.96 m (45'-9 1/2") |
| SIDE YARD (WEST): | 6.00 m (19'-8 1/4") | 18.03 m (59'-1 3/4") | N/A |
| REAR YARD (NORTH): | 7.50 m (24'-7 1/4") | 34.18 m (112'-1 3/4") | 19.37 m (63'-6 1/2") |

7. LANDSCAPING REQUIREMENTS:
LANDSCAPING AREA, LANDSCAPING SCREENS AND FENCING SHALL COMPLY WITH SECTION 6 AND 13.3.8 OF PITT MEADOWS ZONING BYLAW.

APPLICABLE SENTENCES:
6.1.A) NO OBSTRUCTION TO THE LINE OF VISION AT AN INTERSECTION ABOVE THE HEIGHT OF 0.9 M FROM THE TOP OF THE CURB WITHIN THE TRIANGULAR AREA BOUNDED BY THE PROPERTY LINES ADJOINING THE ROAD AND A LINE DRAWN TO CONNECT THE PROPERTY LINES AT A DISTANCE OF 7.0 M FROM THEIR POINT OF INTERSECTION
6.1.B) NO OBSTRUCTION TO THE VISIBILITY OF ANY TRAFFIC CONTROL DEVICE
6.5.A) ALL PREMISES FOR WHICH GARBAGE AND RECYCLING CONTAINERS THAT ARE 1 CUBIC M IN CAPACITY OR LARGER ARE OR WILL BE PROVIDED, SHALL BE PROVIDED WITH AN OUTDOOR STORAGE AREA THAT IS SCREENED FROM ANY ADJACENT ROAD AND ADJACENT PRIVATE PROPERTY BY A LANDSCAPE SCREEN, A SOLID DECORATIVE FENCE, A STRUCTURE, A BUILDING, OR A COMBINATION THEREOF TO A MINIMUM HEIGHT OF 2.0 M AND TO A HEIGHT THAT IS EQUIVALENT TO THE HEIGHT OF THE CONTAINER.

13.3.8 LANDSCAPING
ALL DEVELOPED PORTIONS OF THE LOT NOT COVERED BY BUILDINGS AND STRUCTURES OR PAVED AREAS SHALL BE LANDSCAPED
A) ALONG THE DEVELOPED SIDES OF THE LOT THAT ABUT AN ARTERIAL ROAD, BY MEANS OF A CONTINUOUS LANDSCAPE STRIP NOT LESS THAN 6 M WIDE.
B) ALONG ALL DEVELOPED SIDES OF THE LOT THAT ABUT ALL OTHER HIGHWAYS, BY MEANS OF A CONTINUOUS LANDSCAPE STRIP NOT LESS THAN 3 M WIDE.
C) BY MEANS OF A CONTINUOUS LANDSCAPE STRIP OF 6 M ALONG ALL LOT LINES THAT ABUT RESIDENTIAL DEVELOPMENT.

LANDSCAPE STRIP -

| | REQUIRED | MIN. WIDTH PROVIDED |
|--------------------------------|-----------------|---------------------|
| FRONT YARD (SOUTH-FRASER WAY): | 3.00 m (9'-10") | 12.19 m (40'-0") |
| SIDE YARD (EAST): | 3.00 m (9'-10") | 3.11 m (10'-2 1/2") |
| SIDE YARD (WEST): | N/A | 7.43 m (24'-4 1/2") |
| REAR YARD (NORTH): | N/A | 3.08 m (10'-1 1/4") |

8. VEHICLE PARKING AND LOADING:
REFER TO CITY OF PITT MEADOWS PARKING BYLAW REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNO.

ANY PARKING AREAS FOR FOUR OR MORE VEHICLES SHALL BE SITED NOT LESS THAN 1.3 M FROM FRONT AND EXTERIOR SIDE LOT LINES.
III. 1.5 M FROM REAR AND INTERIOR LOT LINES, UNLESS THE PARKING SPACE IS IMMEDIATELY ADJACENT TO AND ACCESSED FROM A LANE, IN WHICH CASE THE SETBACK MAY BE 0 M. (BYLAW 2571, 2012-7.4(h))

PARKING REQUIREMENT CALCULATIONS

| LEVEL | PARKING CLASSIFICATION | LOCAL BYLAW REQUIREMENTS | |
|--------------------------------|------------------------|--------------------------|---------------------------------------|
| | | GROSS AREA SQ M | SPACES AREA (SM) SPACES REQUIRED |
| BLDG 1 | | | |
| MAIN FLOOR | INDUSTRIAL-LIGHT | 15,987.79 | 172,091.14 1 100.0 m ² 160 |
| BLDG 2 | | | |
| MAIN FLOOR | INDUSTRIAL-LIGHT | 18,093.97 | 194,761.89 1 100.0 m ² 181 |
| TOTAL PARKING SPACES REQUIRED: | | 34,081.76 | 366,853.03 341 |

TOTAL SMALL CAR STALLS ALLOWED: 25% OF REQUIRED STALLS= 85
ALL PROPOSED STALLS ARE STANDARD SIZE

VEHICLE PARKING PROVIDED

| PARKING TYPE | No. of SPACES |
|-------------------------------|---------------|
| ACCESSIBLE PARKING | 7 |
| STANDARD PARKING | 284 |
| TOTAL PARKING SPACES PROVIDED | 291 |

BICYCLE PARKING REQUIREMENTS:
10% OF REQUIRED VEHICLE SPACES: 34
NO. OF PROVIDED BICYCLE PARKING: 38

STALL DIMENSIONS:
STANDARD STALL DIMENSIONS: 2.6m (9'-0") W, 5.5m (18'-0") L at 90°
ACCESSIBLE STALL DIMENSIONS: 4.0m (13'-0") W, 5.5m (18'-0") L, 1.5 m(5'-0") SHARED AISLE
VAN ACCESSIBLE STALL DIMENSIONS: 4.9m (16'-0") W, 5.5m (18'-0") L, 1.5 m(5'-0") SHARED AISLE
SMALL CAR STALL DIMENSIONS: 2.4m (7'-11") W, 4.8m (15'-9") L

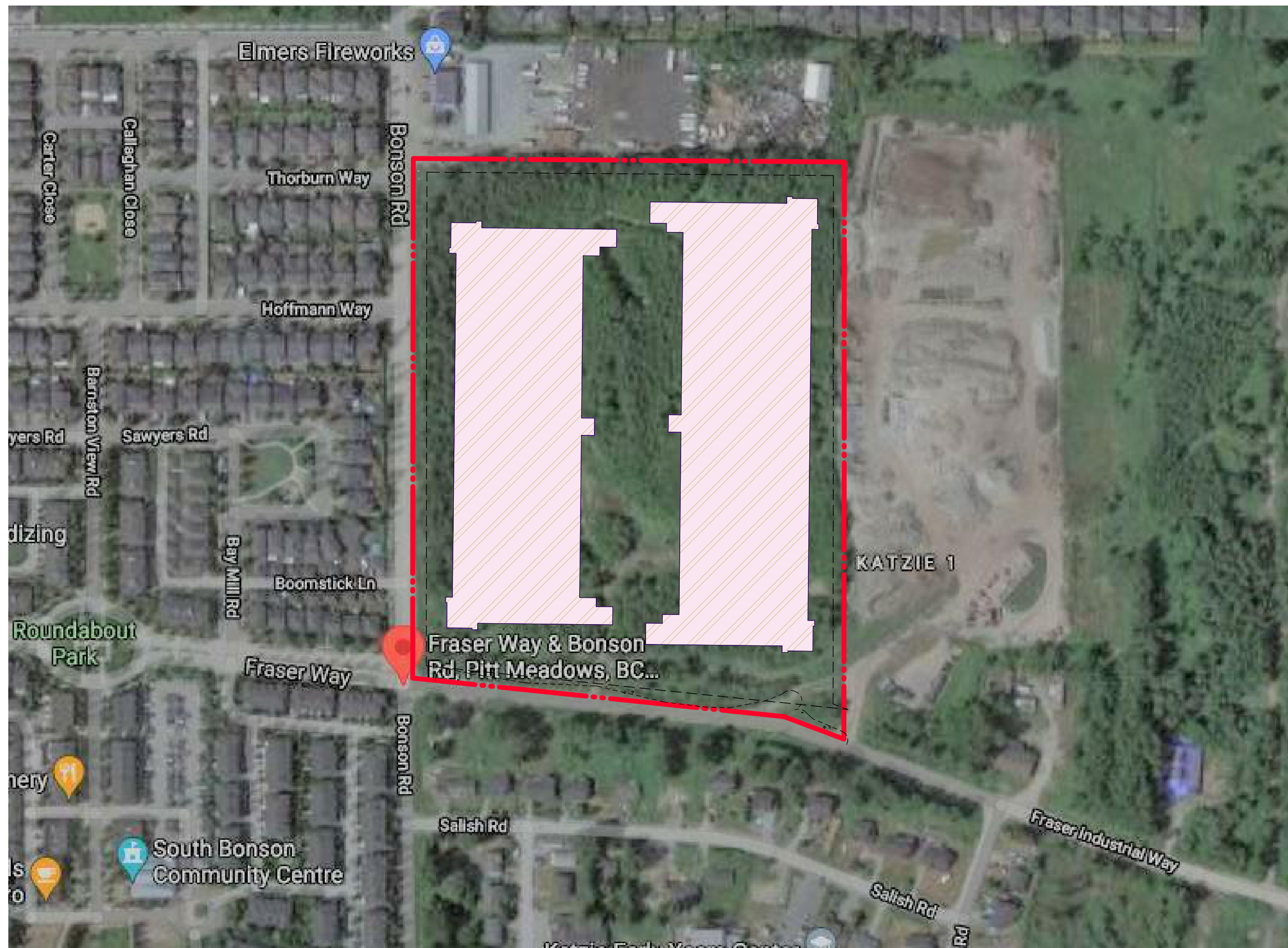
DRIVE AISLE WIDTH: 7.0m (23'-0") W, at 90° (TWO WAY)

LOADING CALCULATION:
TOTAL LOADING SPACES REQUIRED 72 (1 FOR EACH LOADING DOOR)

LOADING DIMENSIONS: 3.0 m (13'-0") W, 9.0 m(30'-0") L

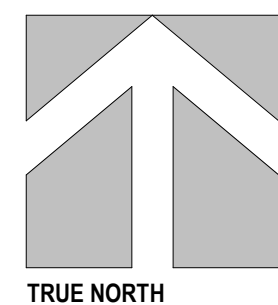
LOADING SPACES

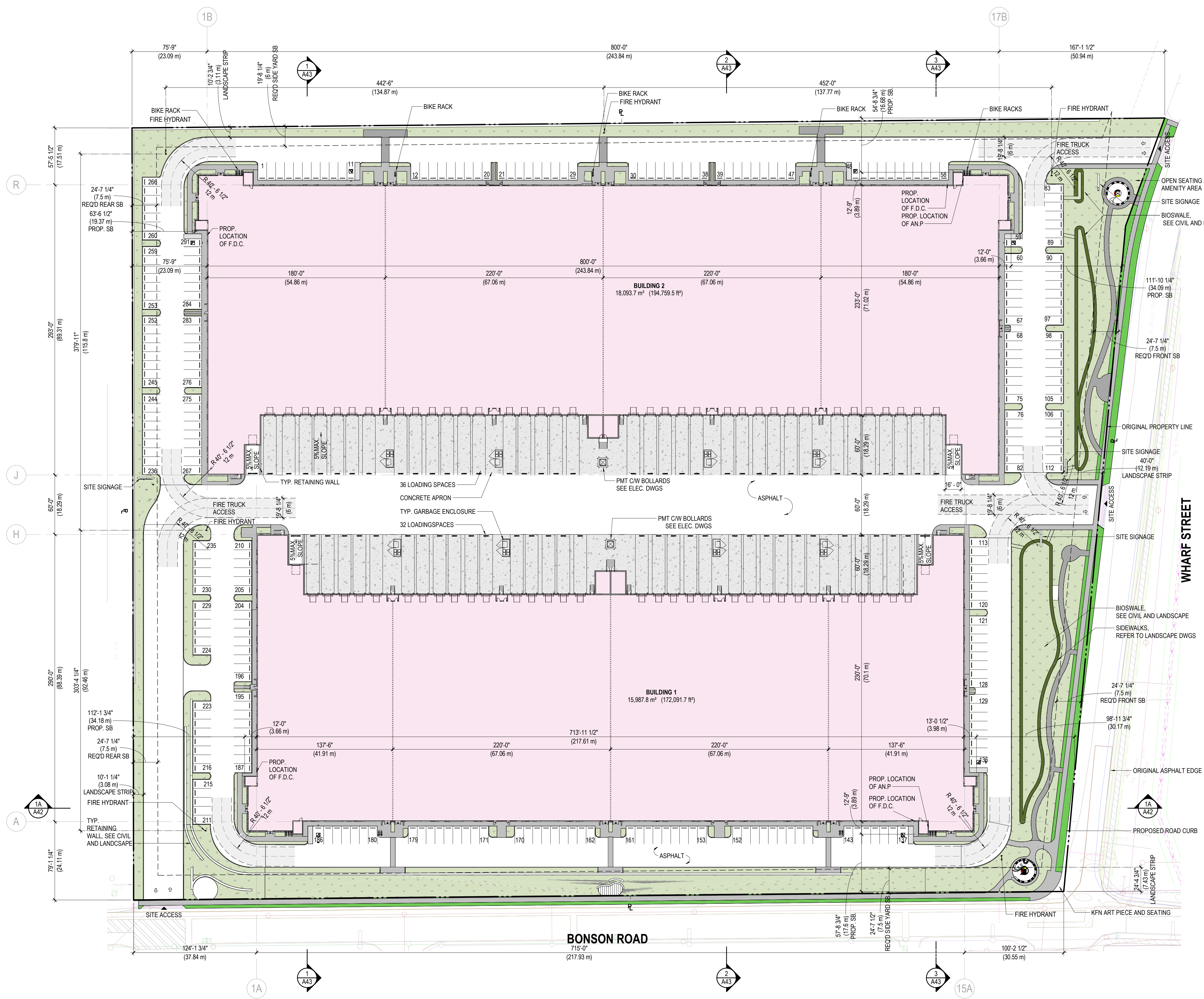
| | |
|-------------------------------|----|
| DOCK LOADING | 68 |
| GRADE LOADING | 3 |
| TOTAL LOADING SPACES PROVIDED | 71 |



1 CONTEXT SITE PLAN

SCALE: 1" = 160'-0"





| SITE LEGEND | | | |
|-------------|---|----------|--|
| [Symbol] | PROPOSED BUILDING | [Symbol] | PROPERTY LINE |
| [Symbol] | EXISTING BUILDING | [Symbol] | RIPARIAN SETBACK |
| [Symbol] | LANDSCAPING SEE LANDSCAPING DWGS | [Symbol] | BUILDING SETBACK |
| [Symbol] | BUILDING SIDEWALK | [Symbol] | CHAINLINK MESH FENCE |
| [Symbol] | CONCRETE PAD | [Symbol] | CONCRETE SOUND BARRIER |
| [Symbol] | ASPHALT PAVEMENT SEE CIVIL DWGS | [Symbol] | OMEGA FENCE |
| [Symbol] | PERMEABLE ASPHALT PAVEMENT, SEE CIVIL DWGS | [Symbol] | RETAINING WALL SEE CIVIL & STRUCT. DWGS |
| [Symbol] | MASONRY PAVEMENT SEE LANDSCAPING DWGS | [Symbol] | CATCH BASIN & LAWN DRAIN SEE CIVIL & MECH. DWGS |
| [Symbol] | GRAVEL | [Symbol] | STRIP DRAIN SEE CIVIL & MECH. DWGS |
| [Symbol] | MULCH SEE LANDSCAPING DWGS | [Symbol] | BIOSWALE, SEE CIVIL AND LANDSCAPE |
| [Symbol] | PMT CW BOLLARDS SEE ELEC. DWGS | [Symbol] | VEHICLE PAINTED TRAFFIC DIRECTION ARROW |
| [Symbol] | FIRE HYDRANT SEE MECH. DWGS | [Symbol] | BUILDING FACADE LIGHTS SEE ELEC. DWGS |
| | | [Symbol] | POST MOUNTED LIGHTS SEE ELEC. DWGS |
| | | [Symbol] | SITE FURNITURE SEE LANDSCAPING DWGS |

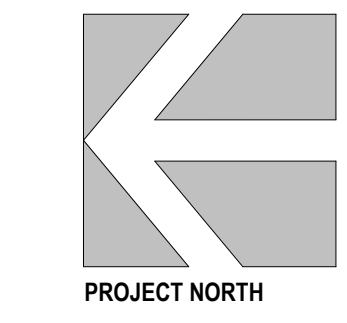
1 SITE PLAN
SCALE: 1:500



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110 - 2920 VIRTUAL WAY,
VANCOUVER BC V5M 0C4

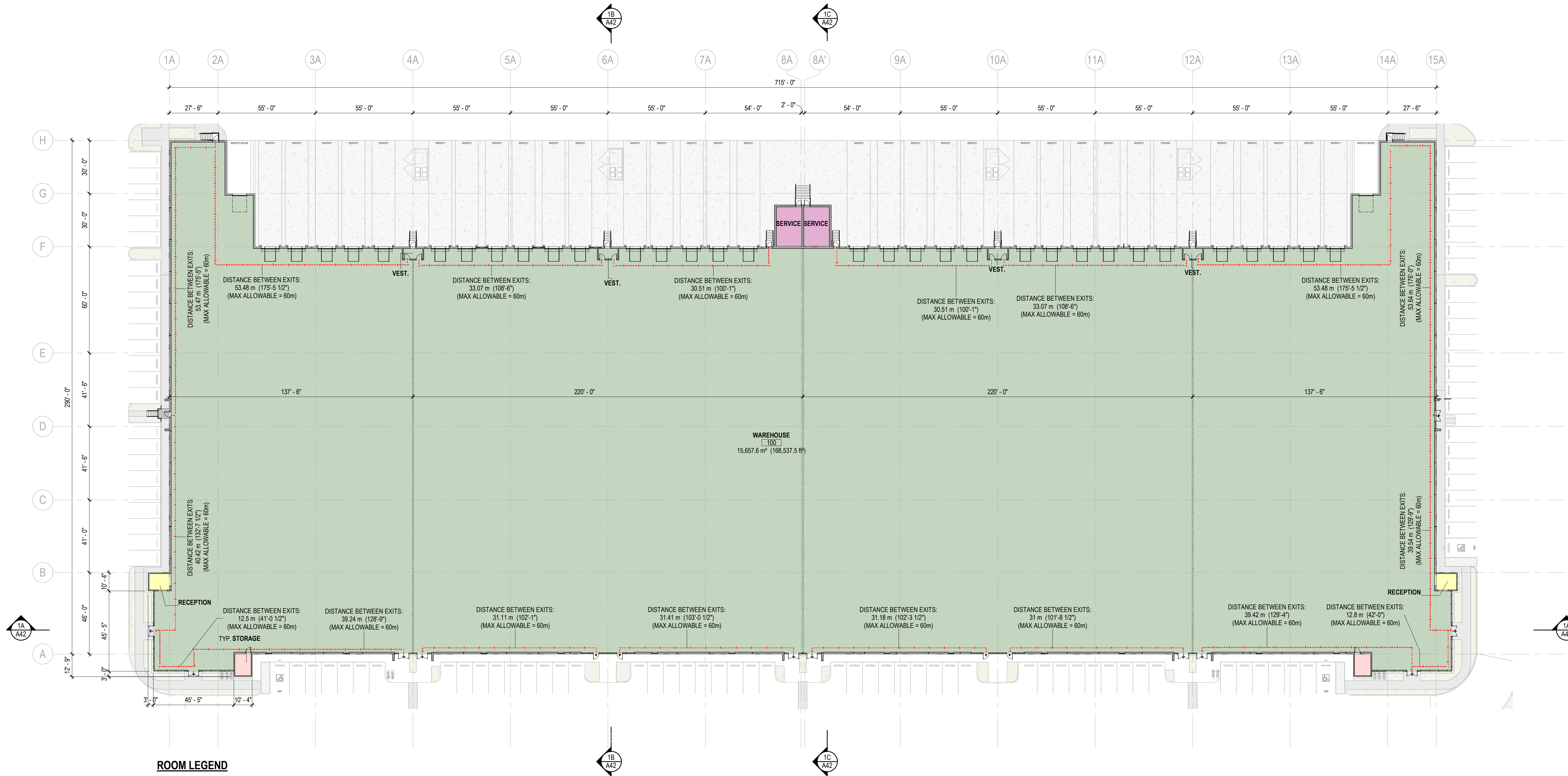
EPTA
BONSON ROAD AT FRASER WAY,
KATZIE FIRST NATION

1911 | A10 SITE PLAN



4 2022.12.15 ISSUED FOR DP
3 2022.11.14 ISSUED FOR DP
2 2022.08.17 ISSUED FOR DP
1 2022.07.22 SITE PLAN CHANGES

T:\Projects\1911-24-38 (Arch) - R19 Rev... May 19, 2022
C:\Users\jdoyle\Documents\1911_Eagle_Meadow_Bldg22_Arch\main\102P1.rvt

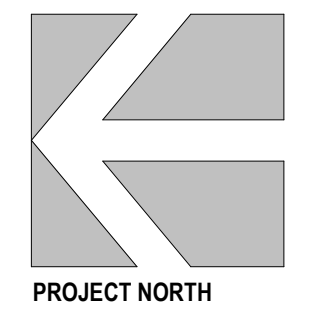


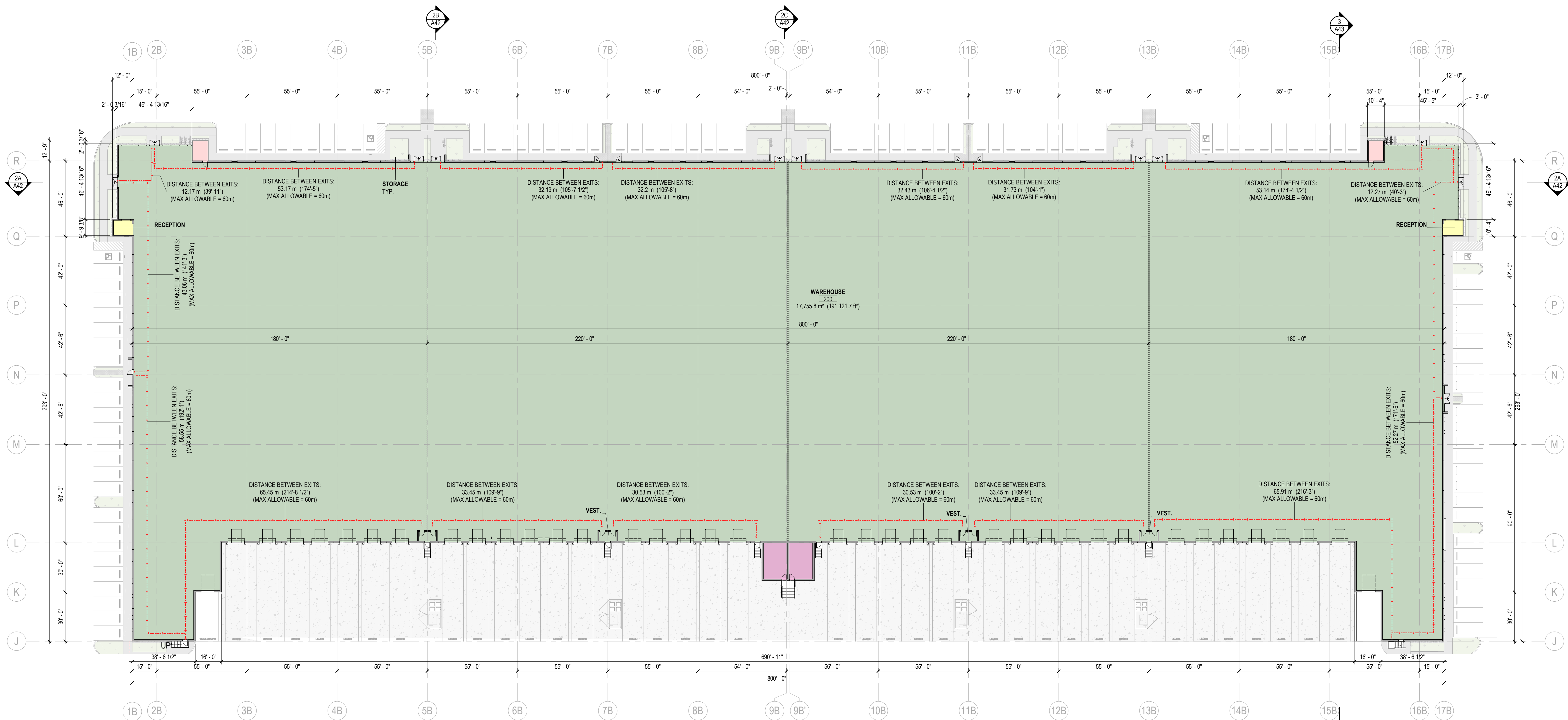
ROOM LEGEND

- RECEPTION
- ROOM
- SERVICE
- STORAGE
- VEST.
- WAREHOUSE

1 MAIN FLOOR PLAN-BLDG 1

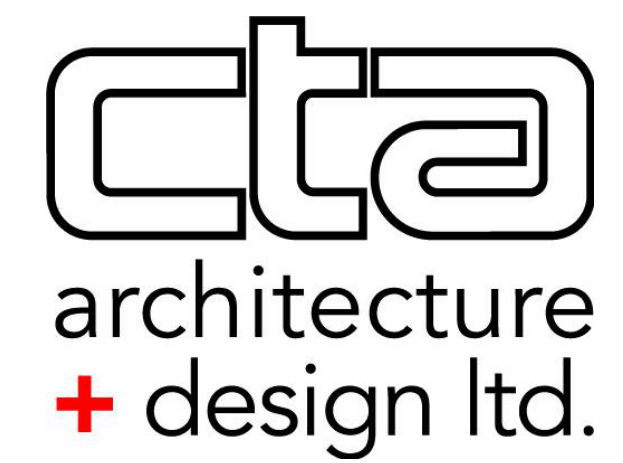
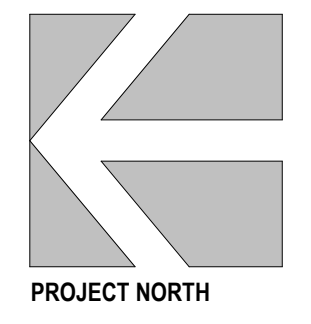
SCALE: 1 : 350





- ROOM LEGEND**
- RECEPTION
 - ROOM
 - SERVICE
 - STORAGE
 - VEST.
 - WAREHOUSE

1 MAIN FLOOR PLAN-BLDG 2
SCALE: 1: 350



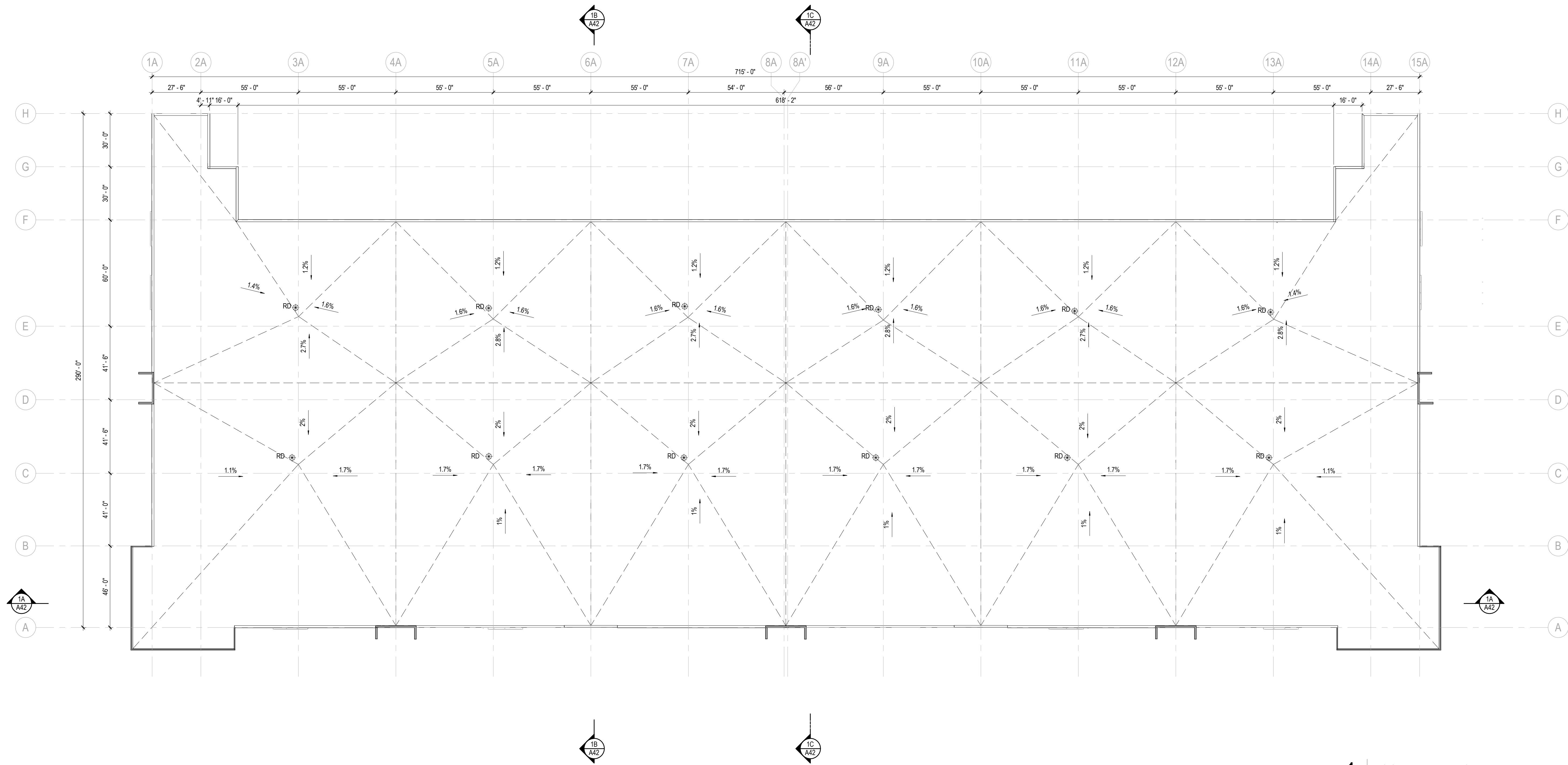
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EPTA
BONSON ROAD AT FRASER WAY,
KATZIE FIRST NATION

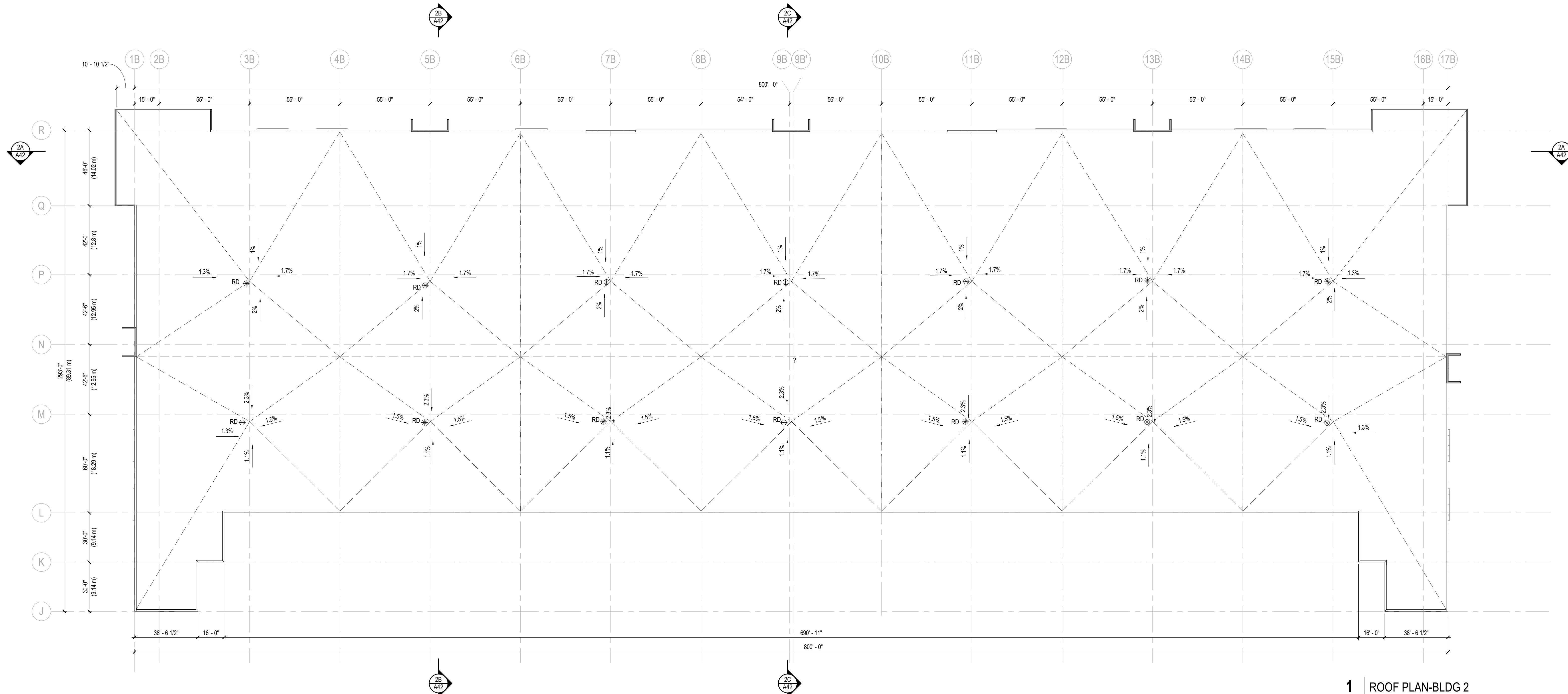
1911 | A22 MAIN FLOOR-BLDG 2

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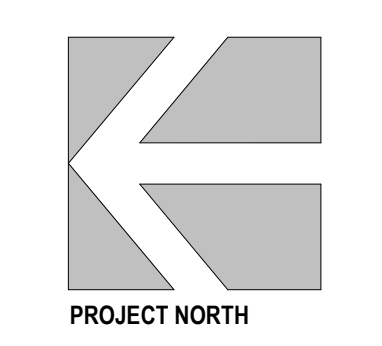
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1 ROOF PLAN-BLDG 1
SCALE: 1:350



1 ROOF PLAN-BLDG 2
SCALE: 1:350



| TYPE | DESCRIPTION |
|------|--|
| C1 | CONCRETE TILT-UP PANEL- PAINT C1, SHERWIN WILLIAMS 6002 - ESSENTIAL GRAY |
| C2 | CONCRETE TILT-UP PANEL- PAINT C2, SHERWIN WILLIAMS 6213 - HALCYON GREEN |
| C3 | CONCRETE TILT-UP PANEL- PAINT C3, SHERWIN WILLIAMS 6214 - UNDERSEAS |
| C4 | CONCRETE TILT-UP PANEL- PAINT C4, SHERWIN WILLIAMS 9042 - VERDIGREEN |
| C5 | CONCRETE TILT-UP PANEL- PAINT C5, SHERWIN WILLIAMS 7615 - SEA SERPENT |
| G1 | CURTAIN WALL- CLEAR GLAZING |
| G2 | SPANDREL GLAZING- ICD- TBD |
| M1 | 8" V GROOVE HORIZONTAL LONGBOARD CLADDING- LIGHT CHERRY |
| M2 | 8" V GROOVE HORIZONTAL LONGBOARD CLADDING-DARK CHERRY |
| M3 | MULLION- CLEAR ANODIZED ALUMINIUM - MATTE FINISH |
| P2 | PREFINISHED METAL FLASHING - IRON ORE |
| W1 | PARKLEX WOOD CLADDING- RUSTIK |

